

# 148,800 SF

ON 25.43 ACRES

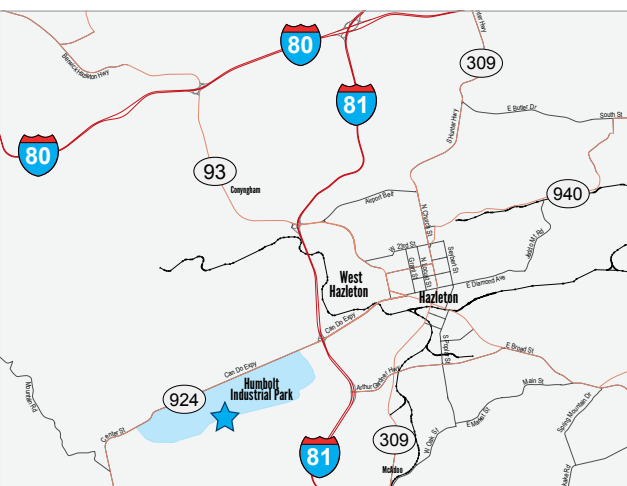
## 40A-2 CINNAMON OAK DRIVE

HUMBOLDT INDUSTRIAL PARK  
HAZLE TOWNSHIP, PA

SAMPLE BUILDING



## EXCEPTIONAL ACCESS TO I-81 AND I-80



### DIRECTIONS TO HUMBOLDT INDUSTRIAL PARK:

**Traveling North on I-81** - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn left. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

**Traveling South on I-81** - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn right. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

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East Mountain Corporate Center  
100 Baltimore Drive  
Wilkes-Barre, PA 18702

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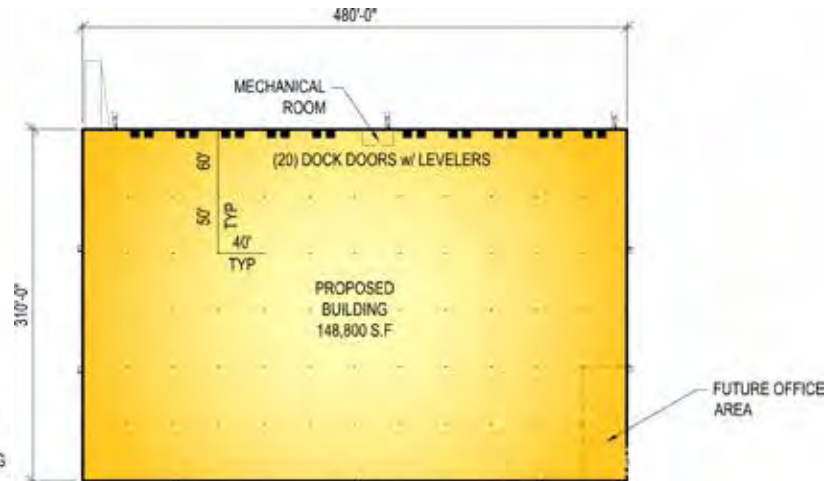
# 148,800 SF

ON 25.43 ACRES

## FOR LEASE IN NORTHEASTERN PA!

### 40A-2 CINNAMON OAK DRIVE

HUMBOLDT INDUSTRIAL PARK  
HAZLE TOWNSHIP, PA



*Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.*

## PROPOSED PROPERTY SPECIFICATIONS

- Building shall contain 148,800 SF with dimensions of 480' (length) x 310' (width) on 25.43 acres
- 30' - 33'3" ceiling clear height
- 40' x 50' column spacing with a 60' deep staging bay at the loading dock
- 6" thick reinforced concrete floor slab
- Twenty (20) 9' x 10' vertical lift dock doors with 30,000lb. capacity mechanical levelers
- One (1) 12' x 14' drive-in door with ramp
- Warehouse heating shall be energy efficient gas-fired unit heaters
- Electrical service shall be 800 amp, 277/480 V, 3-phase
- Warehouse lighting shall be energy efficient T-bay lighting
- Office lighting shall be fluorescent with prismatic lenses
- Fire protection shall be ESFR wet sprinkler system
- On-site parking for approx. 163 vehicles
- Site is partially located in Keystone Opportunity Zone (KOZ)
- Tax benefits available through 2017

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40A-2 Cinnamon Oak Drive  
Humboldt Industrial Park, Hazle Township, PA

25.43 ACRES



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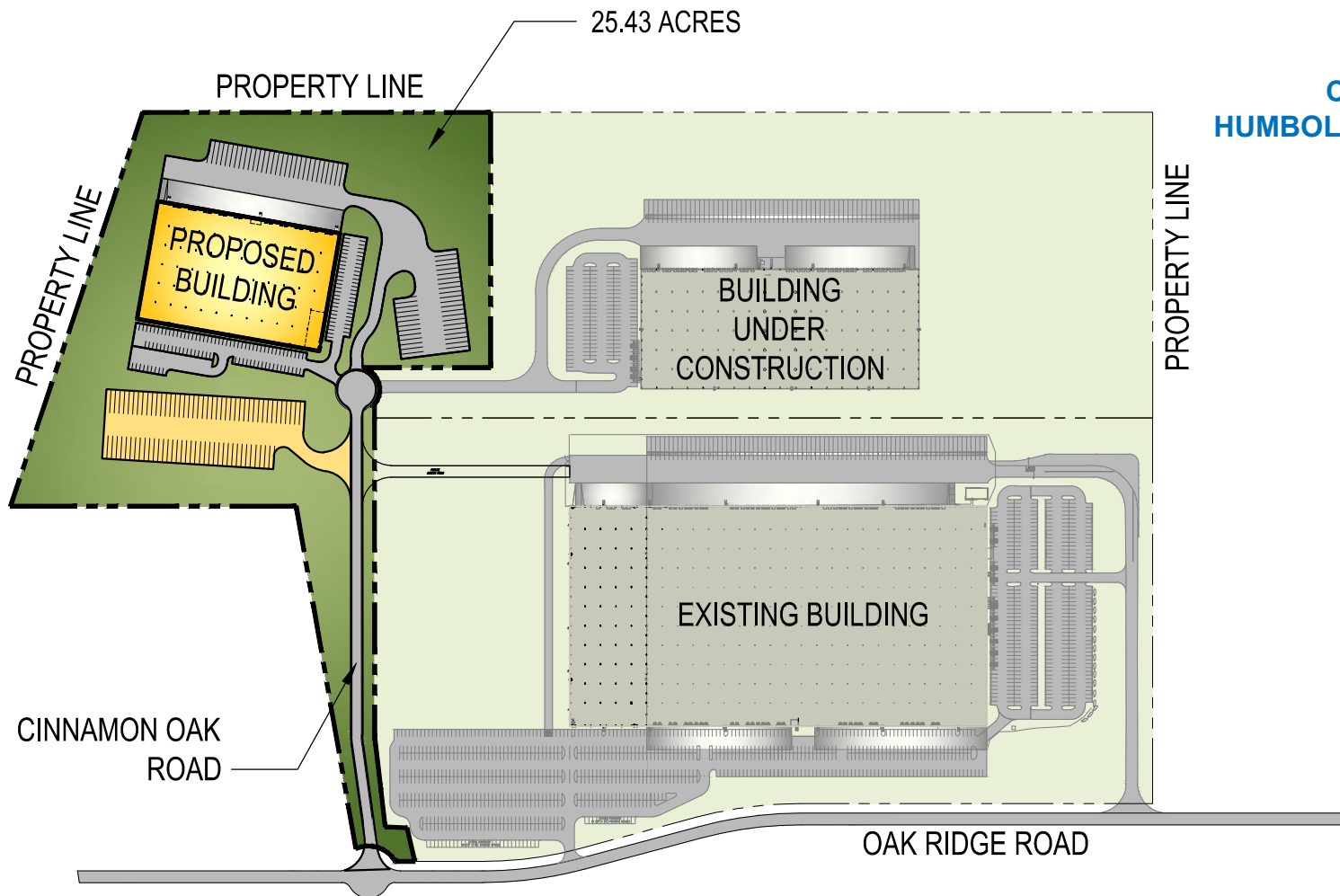
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## CONCEPTUAL SITE PLAN

PROPOSED 148,800 S.F. BUILDING

**PARCEL #40A-2**  
**CINNAMON OAK DRIVE**  
**HUMBOLDT INDUSTRIAL PARK**  
**HAZLETON, PA 18202**



These plans have been prepared solely for  
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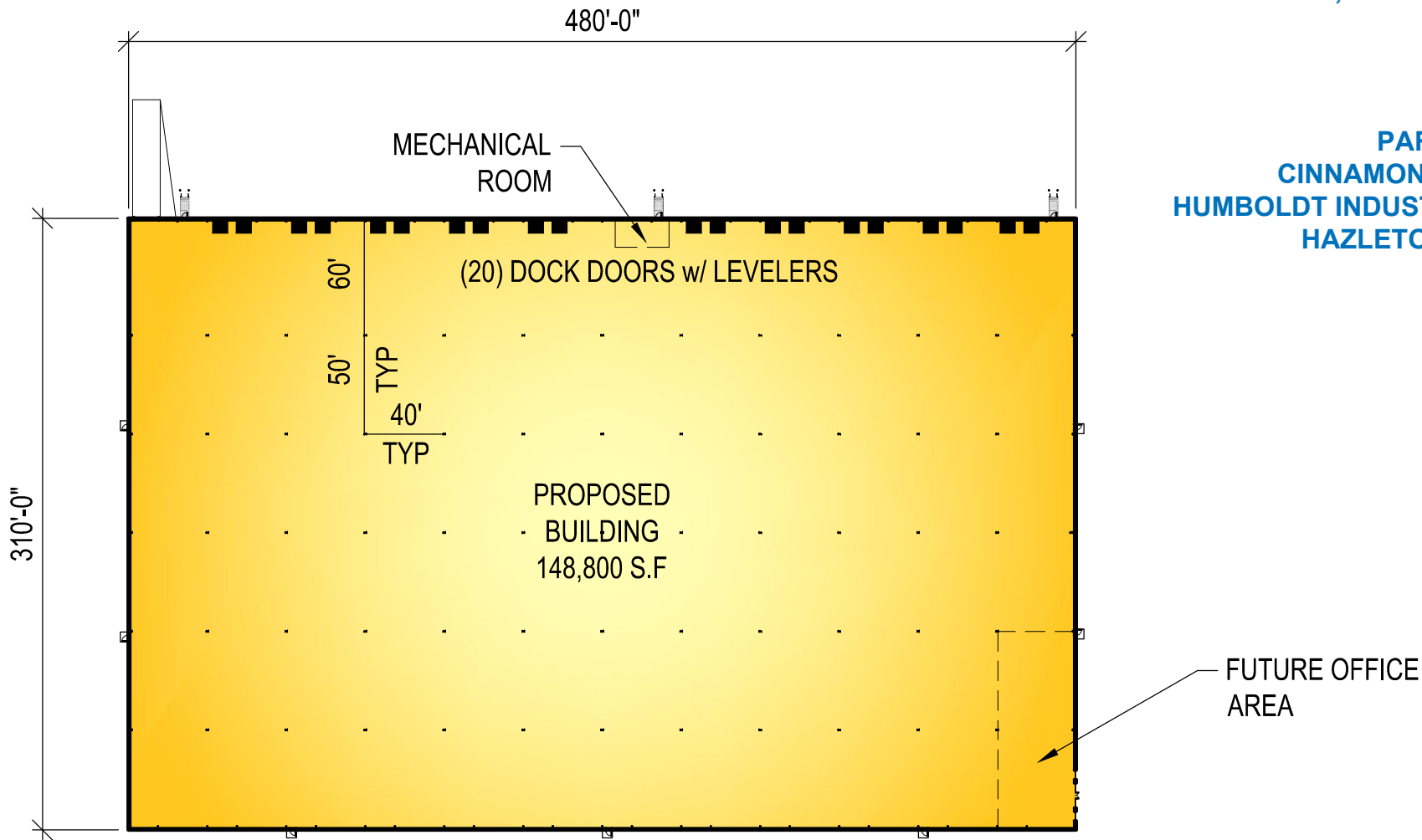
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# CONCEPTUAL FLOOR PLAN

PROPOSED 148,800 S.F. BUILDING

**PARCEL #40A-2**  
**CINNAMON OAK DRIVE**  
**HUMBOLDT INDUSTRIAL PARK**  
**HAZLETON, PA 18202**



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## SPECIFICATIONS

**PROPOSED 148,800 S.F. BUILDING**

### SITE IMPROVEMENTS

- SITE CONTAINS APPROXIMATELY 25.43 ACRES
- ON-SITE PARKING FOR APPROXIMATELY 163 VEHICLES.
- ON-SITE TRAILER STORAGE FOR APPROXIMATELY 65 TRAILERS,
- ASPHALT PAVING INCLUDING HEAVY DUTY PAVE IN TRUCK AREAS.
- PROFESSIONALLY PREPARED LANDSCAPE DESIGN.
- FUTURE ON-SITE TRAILER STORAGE FOR APPROXIMATELY 80 TRAILERS.

### BUILDING IMPROVEMENTS

- BUILDING CONTAINS 148,800 SQUARE FEET.
- BUILDING DIMENSIONS 480' (LENGTH) X 310' (DEPTH).
- MIN. 30' CLEAR STRUCTURAL HEIGHT AT LOW EAVE.
- IN. 33'-3" CLEAR STRUCTURAL HEIGHT AT RIDGE.
- 40' X 50' BAY SPACING WITH A 60' DEEP STAGING BAY AT THE LOADING DOCK.
- 6" THICK CONCRETE FLOOR SLAB REINFORCED WITH WELDED STEEL MATS.
- MR24 STANDING SEAM ROOF SYSTEM.
- EXTERIOR WALL SYSTEM CONSISTING OF ARCHITECTURAL MASONRY, ALUMINUM/GLAZING ENTRANCE SYSTEMS AND INSULATED METAL WALL PANELS.
- THE BUILDING SHALL CONTAIN (20) 9' X 10' VERTICAL LIFT DOCK DOORS WITH 30,000 LB CAPACITY MECHANICAL LEVELERS WITH BUMPERS.
- THE BUILDING SHALL CONTAIN (1) 12' X 14' VERTICAL LIFT DRIVE-IN DOOR .

### UTILITIES AND BUILDING SYSTEMS

- HEATING SYSTEM SHALL BE ENERGY EFFICIENT CAMBRIDGE DIRECT FIRED UNITS.
- ELECTRICAL SERVICE(S) SHALL BE A 277/480 V 3 PHASE 800A EXPANDABLE UP TO 4000A
- INTERIOR LIGHTING SHALL BE ENERGY EFFICIENT FLUORESCENT T-BAY FIXTURES WITH LIGHTING LEVELS OF 18 -22 FC AVERAGE.
- FIRE PROTECTION SYSTEM SHALL BE AN EARLY SUPPRESSION FAST RESPONSE (ESFR) WET SPRINKLER SYSTEM.
- PROVISIONS FOR DOMESTIC WATER AND NATURAL GAS SHALL BE PROVIDED.
- ALL UTILITIES SHALL BE SEPARATELY METERED.

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